


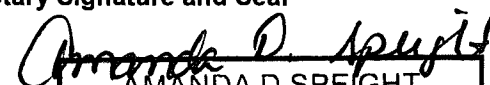
# Administrative Alternates



## DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831

|  |                        |
|--|------------------------|
| <b>Administrative Alternate Request:</b> <i>Requested in accordance with UDO Section 10.2.17</i>   | <b>OFFICE USE ONLY</b> |
| <b>Section(s) of UDO affected:</b><br><b>Sec 1.5.9 Transparency</b><br>Provide an explanation of the alternate requested, along with an applicant's statement of the findings<br>See Attached<br>Provide all associated case plan numbers including zoning and site plan:<br>Transaction # 512417 Site Plan Review | Transaction Number     |

|  |   |  |
|--|---|--|
| <b>Property Address</b><br>6106 Corporate Ridge Rd., Raleigh, NC   |   | <b>Date</b><br>6/20/17                           |
| <b>Property PIN</b><br>077462661   | <b>Current Zoning</b><br>CX-4-PL  |  |
| <b>Nearest Intersection</b><br>Chapel Hill Rd. & Corporate Ridge Rd.   |   | <b>Property size (in acres)</b><br>.97           |
| <b>Property Owner</b><br>Perry Brother Properties, LLC   | <b>Phone</b><br>252-523-5107  | <b>Mail</b><br>P. O. Box 1475, Kinston, NC 28503 |
|  | <b>Email</b><br>elyperry3@gmail.com   |  |
| <b>Project Contact Person</b><br>Ely Perry III   | <b>Phone</b><br>252-559-2629  | <b>Mail</b><br>P. O. Box 1475, Kinston, NC 28503 |
|  | <b>Email</b><br>elyperry3@gmail.com   |  |
| <b>Property Owner Signature</b><br> | <b>Email</b><br>elyperry3@gmail.com   |  |
| <b>Notary</b><br>Sworn and subscribed before me this <u>20</u> day of<br><u>June</u> , 20 <u>17</u>                    | <b>Notary Signature and Seal</b><br><br>AMANDA D SPEIGHT<br>NOTARY PUBLIC<br>Lenoir County, North Carolina<br>My Commission Expires Oct. 29, 2021 |  |

## **Administrative Alternates Application Attachments**

1. **Explanation of Alternate Request** – The proposed building at 6106 Corporate Ridge Rd., Raleigh, NC is an O'Reilly Auto Parts which is designed with the front of the store or retail area facing Chapel Hill Rd. (North Elevation) and the back of the store or stock room area facing Corporate Ridge Rd. (South Elevation). Corporate Ridge Rd. is a short cul-de-sac road that is +/- 10 feet higher in elevation than the site. The south side of Corporate Ridge Rd is zoned IX-3.

Per the City of Raleigh UDO section 1.5.9 transparency requirements, any facades facing a street must meet the transparency requirement. The applicant is requesting an administrative alternate for the South Elevation because placing windows in a stock room will be unattractive for vehicular traffic and pedestrians on Corporate Ridge Road and inefficient for the stock room area. Attached are the following supporting documents:

- a. Site pictures
- b. Elevation Renderings
- c. Site Plan
- d. Alta Survey
- e. Floor Plan
- f. Aerial

## **2. Statement of Findings**

### **a. The alternate meets the intent of the transparency requirements**

The intent of the transparency requirement is to “lend visual interest to street-facing facades for both pedestrians and building occupants and minimize blank wall areas.” Elevation Renderings are attached which show the proposed South Elevation which incorporates brick with brick accent colors, pilasters, shutters and trees to provide visual interest on the South Elevation which prevents a blank wall look of the South Elevation. We believe that it is not logical to place windows in a stock room area and the intent of visual interest to street-facing facades will be better served with the proposed alternate plan than windows in a stock room area.

### **b. The Alternate conforms with the Comprehensive Plan**

We believe the alternate conforms with the Comprehensive Plan as described in the following

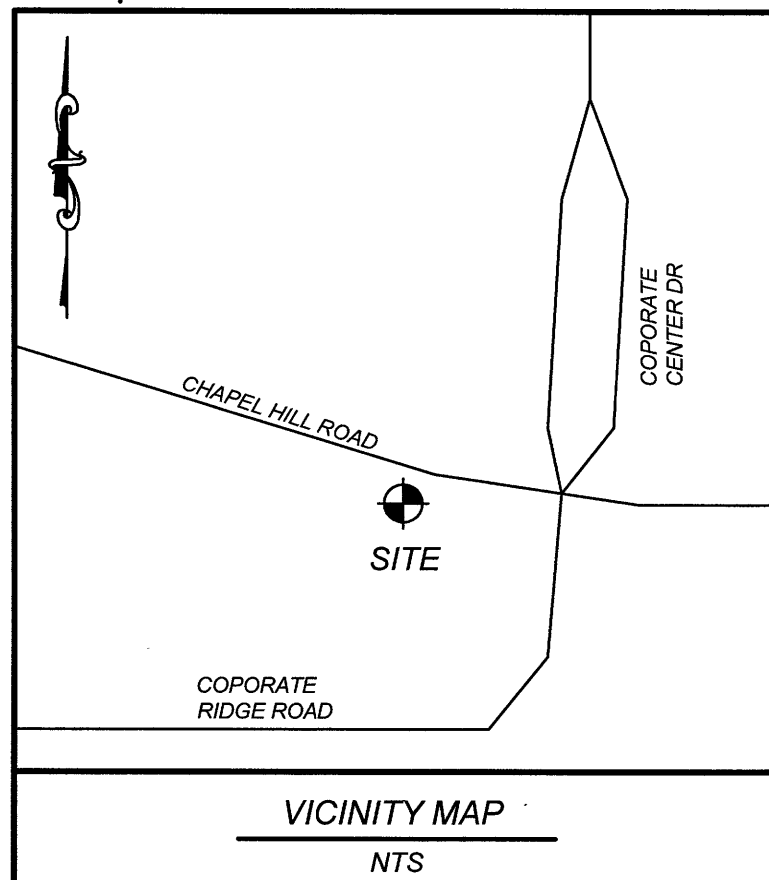
- i. Policy LU 5.1 – Reinforcing the Urban Pattern – We believe that the proposed South Elevation is attractive and integrates well with the adjacent buildings in the area. There are 2 lots that are vacant on this cul-de-sac and the south side is developed with industrial type uses.
- ii. Policy LU7.4 – Scale and Design of New Commercial Uses - The new use is appropriate with the existing development in the area which is a McDonald's directly to the east, Sheetz on the east side of McDonald's as well as a Wingate Hotel at the end of the cul-de-sac to the west as shown

on the attached aerial. There is also industrial/commercial use directly to the south of the property including Seal Master and Ferrell Gas Company.

- iii. Policy UD 1.2– Architectural Features - and Policy UD 1.3 Creating Attractive Facades - The proposed shutters on the South Elevation serves to mimic windows and the combination of brick with an accent color, pilasters, EIFS cap give the proposed South Elevation architecturally attractive features.

**c. The street-facing building façade utilizes other architectural treatments to create visual interest to offset the reduction in transparency**

As stated before, the South Elevation which incorporates brick with brick accent colors, pilasters, shutters and trees to provide visual interest on the South Elevation which prevents a blank wall look of the South Elevation.



### GPS SURVEY CERTIFICATION

I, STEVEN W. MULLINS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS (OR GNSS) SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

CLASS OF SURVEY: CLASS A  
POSITIONAL ACCURACY: 0.07' ± 50 MM OR LESS  
TYPE OF GPS (OR GNSS) FIELD PROCEDURE: OPUS  
DATE(S) OF SURVEY: NOVEMBER 18, 2016  
DATUM / EPOCH: NAD 83 (2011) / 2010.0000  
PUBLISHED / FIXED CONTROL:  
DK7576 NCNA NASHVILLE CORS ARP  
DK7563 NCWL WILSON CORS ARP  
AM7024 SNFD SANFORD CORS ARP  
DM3527 NCRR ROXBORO CORS ARP  
DM3529 NCWR WARRENTON CORS ARP  
DM3989 NCKI KINSTON CORS ARP  
DG5938 NCCA CARTHAGE CORS ARP  
DF9213 NCBU BURLINGTON CORS ARP  
DL4071 LS06 LOYOLA LS06 CORS ARP  
GEOID MODEL: 12B  
COMBINED GRID FACTOR: 0.99989892  
UNITS: US SURVEY FEET

VERTICAL POSITIONS ARE REFERENCED TO NAVD88 USING (GEOID12B)  
COMBINED FACTOR 0.99989892

WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS THE

DAY OF 11/23/16  
SURVEYOR

REGISTRATION NUMBER L-4740

### UTILITY NOTE

NOTE TO CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.1.1. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND UTILITIES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW/IF THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

### REFERENCES

DEED BOOK 13011, PAGE 1840  
DEED BOOK 14108, PAGE 1686  
BOOK OF MAPS 2009, PAGE 1170  
BOOK OF MAPS 2001, PAGE 1779  
BOOK OF MAPS 2007, PAGE 2618  
BOOK OF MAPS 2008, PAGE 1357  
BOOK OF MAPS 2009, PAGE 1170-1171  
BOOK OF MAPS 1977, PAGE 14  
OF THE WAKE COUNTY, NC REGISTER OF DEEDS.

### LEGEND

▲ CALCULATED POINT  
● EXISTING IRON PIPE (AS NOTED)  
○ SET 3/4" IRON PIPE  
○ BORE HOLE  
○ SANITARY SEWER MANHOLE  
○ SANITARY SEWER CLEANOUT  
○ WATER VALVE  
○ WATER METER  
○ FIRE HYDRANT  
○ TELEPHONE PEDESTAL  
○ TELEPHONE MANHOLE  
○ ELECTRIC BOX  
○ LIGHT POLE  
○ POWER POLE  
○ CURB INLET  
○ STORM DRAINAGE MANHOLE  
○ YARD INLET  
----- STORM DRAIN  
--- OVERHEAD UTILITIES  
--- UNDERGROUND ELECTRIC  
--- UNDERGROUND TELEPHONE  
--- WATER LINE  
--- SANITARY SEWER LINE  
--- GAS LINE  
--- FENCE LINE

AC = ACRES  
ACSM = AMERICAN CONGRESS ON SURVEYING AND MAPPING  
ALTA = AMERICAN LAND TITLE ASSOCIATION  
B.M. = BOOK OF MAPS  
CB = CATCH BASIN  
CMP = CORRUGATED METAL PIPE  
D.B. = DEED BOOK  
EIP = EXISTING IRON PIPES  
ELEV = ELEVATION  
E.M. = ELECTRIC METER  
FIRM = FLOOD INSURANCE RATE MAP  
GPS = GLOBAL POSITIONING SYSTEM  
HUD = HOUSING URBAN DEVELOPMENT  
HYD = FIRE HYDRANT  
INV = INVERT  
IPS = IRON PIPE SET  
LLC = LIMITED LIABILITY COMPANY  
MPH = MILES PER HOUR  
MSL = MEAN SEA LEVEL  
NAD = NORTH AMERICAN DATUM  
INF = NOW OR FORMERLY  
NGS = NORTH CAROLINA GEODETIC SURVEY  
NGVD = NATIONAL GEODETIC VERTICAL DATUM

NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS  
NTS = NOT TO SCALE  
P.G. = PAGE  
P.O.B. = POINT OF BEGINNING  
P.O.C. = POINT OF COMMENCEMENT  
P.O.L. = POINT ON LINE  
R.C.P. = REINFORCED CONCRETE PIPE  
RW = RIGHT-OF-WAY  
SF = SQUARE FOOT  
SMH = SANITARY SEWER MANHOLE  
S.R. = STATE ROAD  
TBM = TEMPORARY BENCH MARK  
T/C = TOP CURB  
TWSH = TOWNSHIP  
TYP = TYPICAL  
Y.L. = YARD INLET

### POSSIBLE ENCROACHMENT

(A) FIRE HYDRANT ENCROACHES 0.2' ONTO SUBJECT PARCEL.

### GENERAL NOTES

- 1) THE ALTA/NSPS LAND TITLE SURVEY SHOWN HEREON DOES NOT MEET ALL OF THE REQUIREMENTS AS SET FORTH BY LOCAL AND STATE GOVERNMENT AGENCIES AND IS NOT FOR RECORDATION.
- 2) ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, UNLESS NOTED OTHERWISE.
- 3) ALL AREAS COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
- 4) NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- 5) NO WETLAND DELINEATION MARKERS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- 6) NO PROPOSED CHANGED IN STREET RIGHT-OF-WAY OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING FIELD WORK.
- 7) RECORD DESCRIPTION FORMS A MATHEMATICALLY CLOSED FIGURE.
- 8) NO EXISTING BUILDING OR PARKING AREA OBSERVED ON SUBJECT PROPERTY AT TIME OF SURVEY.

### ALTA SURVEY CERTIFICATION

TO PERRY BROTHERS PROPERTIES, LLC, AND FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6a, 6b, 7a, 7b, 8, 9, 11b AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 18, 2016.

DATE OF PLAT OR MAP: 11-25-17

PRINTED NAME / EMAIL: STEVEN W. MULLINS / mullins@csitedesign.com

LICENSE NUMBER: L-4740

SIGNATURE: Steven W. Mullins

### ZONING INFORMATION

ZONING: CX-3-PL  
BUILDING SETBACKS:  
FRONT ..... 0 - 100 FEET BUILD-TO  
SIDE ..... 0 FEET  
REAR ..... 0 FEET  
MAXIMUM BUILDING HEIGHT: N/A

PARKING REQUIREMENTS: 1 PER 300 SF

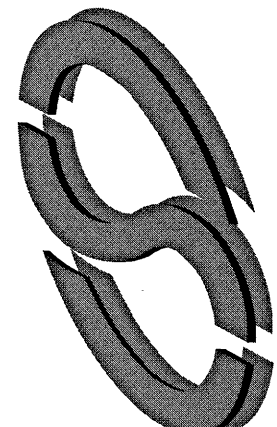
INFORMATION PROVIDED BY CITY OF RALEIGH PLANNING  
DEPARTMENT PHONE: 919-996-2626, NOVEMBER 2016.

### FLOOD INFORMATION

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720077400J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

REVISIONS

COMMERCIAL  
SITE DESIGN



(919) 646-6121 FAX: (919) 646-3741  
WWW.CSITEDSIGN.COM

8912 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27613

PERRY MANAGEMENT  
REAL ESTATE, LLC  
1111 Plaza Blvd., Suite 200  
Raleigh, NC 27601  
Phone: 919-996-2626  
Fax: 919-996-2627  
www.perrymanagement.com

CLIENT:

PROPERTY OF:  
CHD INVESTMENTS, LLC  
6106 CORPORATE RIDGE ROAD  
MEREDITH TWP., RALEIGH, WAKE CO., NORTH CAROLINA  
ALTA/NSPS LAND TITLE SURVEY

PROJECT NO: PER-1601  
FILENAME: PER1601-AT  
DRAWN BY: JJJ  
SCALE: 1"= 20'  
DATE: 11/23/16  
SHEET NO: 1 of 2

| CURVE TABLE |         |          |         |         |                |
|-------------|---------|----------|---------|---------|----------------|
| CURVE       | LENGTH  | RADIUS   | TANGENT | CHORD   | BEARING        |
| C1          | 180.99' | 3819.72' | 90.51'  | 180.97' | S71°48'04"E    |
|             |         |          |         |         | DELTA 2°42'53" |

### GRAPHIC SCALE

1 inch = 20 ft.

TOTAL AREA = 42,267 SF OR 0.97 ACRES

## GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) ALL DIMENSIONS TO ROUGH FACE OF ROUGH FRAMING, CONCRETE, MASONRY OR CENTERLINE OF STRUCTURE, UNLESS OTHERWISE NOTED. COLD FORM METAL STUD INTERIOR PARTITION DIMENSIONS 3-5/8" UNLESS OTHERWISE INDICATED AND NOT SHOWN FOR CLARITY.
- (C) REFER TO EXTERIOR AND INTERIOR FINISH SCHEDULES FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS. NOTIFY ARCHITECT IF FINAL DESIGN CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.

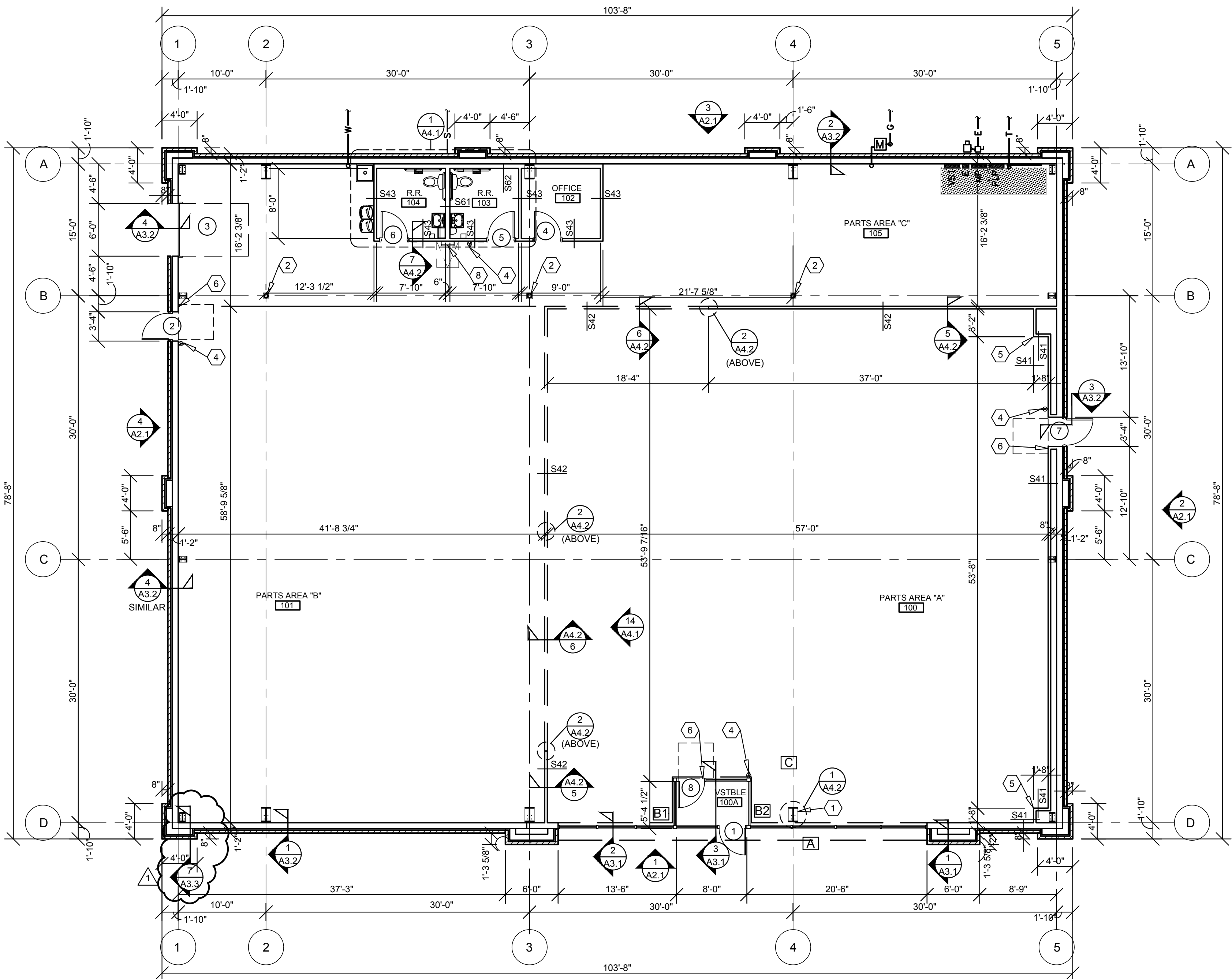
## KEY NOTES

- (1) CONCEALED STEEL COLUMN, REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS. PROVIDE SHEET METAL COVER WITH NO EXPOSED HORIZONTAL SEAMS. FINISH TO MATCHING WINDOW FRAMING.
- (2) EXPOSED STEEL COLUMN, REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS, (PAINT).
- (3) OWNER FURNISHED AND CONTRACTOR INSTALLED SAFE. SIZE AND TYPE TO BE VERIFIED BY OWNER. DO NOT INSTALL UNIT UNTIL AFTER OFFICE INTERIOR FINISH WORK HAS BEEN COMPLETED.
- (4) PORTABLE FIRE EXTINGUISHER SURFACE MOUNTED AT 42" A.F.F. TO CENTERLINE OF EXTINGUISHER. FIRE EXTINGUISHERS SHALL BE UL LISTED, ABC TYPE, WITH 10 LBS. CAPACITY.
- (5) SHOWROOM CORNER WALL BOX OUT. INSTALL 5/8" FIRE TREATED PLYWOOD BACKING TO BACK SIDE OF STUD INTERIOR FLANGE ON EACH EXPOSED WALL FACE FROM 8'-0" TO 10'-0" A.F.F. FOR INSTALLATION OF SECURITY MIRRORS. REFER TO 4/A4.2 (TYPICAL).
- (6) TACTILE EXIT SIGN AT EXIT DISCHARGE DOOR STATING "EXIT" WITH BRAILLE LETTERING. SIGN TYPE TO COMPLY WITH ANSI A117.1 AND MOUNTED AT 60" A.F.F. TO CENTERLINE.
- (7) NOT USED.
- (8) ROOF ACCESS. PROVIDE LADDER AND ROOF HATCH SYSTEM. REFER TO SECTION 6/A3.3. COORDINATE LOCATION WITH P.E.M.B. SHOP DRAWINGS.

**SPECIAL NOTE:**  
REFER TO PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS FOR LOCATIONS OF INDEPENDENT STRUCTURAL VERTICAL LATERAL BRACING SYSTEMS AND NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT IF BRACING OCCURS ADJACENT TO RESTROOM PERIMETER WALLS. ENTIRE RESTROOM LAYOUT TO SHIFT 6" AWAY FROM BRACING WALL(S) TO CONCEAL STRUCTURE.

## INTERIOR WALL & CEILING NOTES

- 1. GENERAL:**  
A. REFER TO FINISH SCHEDULES FOR ADDITIONAL WALL FINISH MATERIAL APPLICATIONS.
- B. REFER TO WALL SECTIONS AND DETAILS FOR ADDITIONAL CONDITIONS.
- 2. FRAMING:**  
A. PROVIDE FIRE TREATED 2X BLOCKING AS REQUIRED FOR INSTALLATION OF ACCESSORIES PER MANUFACTURER'S RECOMMENDATIONS.
- B. PROVIDE DIAGONAL WALL BRACING ( 3" X 16 GA. FLAT STRIP ) AT CORNER FACES OF FREE STANDING PARTITION SYSTEMS.
- C. WHERE WALL FRAMING EXTENDS TO BOTTOM OF ROOF DECK OR STRUCTURE, PROVIDE DEFLECTION CHANNELS AT TOP TRACK FOR 1 1/2" MINIMUM DEFLECTION.
- D. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL STUD REQUIREMENTS.
- E. REFER TO WINDOW AND DOOR HEAD, JAMB AND SILL DETAILS FOR ADDITIONAL FRAMING REQUIREMENTS.
- F. PROVIDE HORIZONTAL STUD BRIDGING AT 4'-0" O.C. VERTICAL.
- 3. GYPSUM AND BACKING BOARD:**  
A. EXPANSION/CONTROL JOINTS: INSTALL EXPANSION/CONTROL JOINTS IN CEILINGS EXCEEDING 2500 SQ. FT. IN AREA AND IN PARTITION WALL LENGTHS EXCEEDING 30 FEET. DO NOT EXCEED A DISTANCE OF 50 FEET IN ANY DIRECTION BETWEEN CEILING JOINTS. INSTALL CONTROL JOINTS WHERE FRAMING OR FURRING CHANGES DIRECTION.
- B. PROVIDE MOISTURE RESISTANT TYPE "X" GYPSUM BOARD AT ALL WET LOCATIONS (RESTROOMS, WET WALLS, AND JANITOR'S SINK AREAS).
- C. PROVIDE "J" MOLDING, REGLETS, OR CORNER BEAD AT GYPSUM BOARD PERIMETER CONDITIONS TRANSITIONING TO DISSIMILAR EXPOSED FINISH MATERIALS.
- 4. INSULATION:**  
A. INSULATION SHALL HAVE A FLAME SPREAD RATING OF 0-25 AND A SMOKE DEVELOPMENT RATING OF 0-450.
- B. PROVIDE SEALANT ON BOTH SIDES OF STUD BOTTOM TRACKS AT ACOUSTICAL INSULATED WALL LOCATIONS.
- 5. FIRE STOPPING:**  
A. PROVIDE FIRE STOPPING AND FIRE SEALANT MATERIALS AS REQUIRED AT ALL FIRE RATED ASSEMBLY TRANSITIONS, PENETRATIONS, AND PERIMETER CONDITIONS. RATING TO BE EQUAL TO RATED ASSEMBLY.

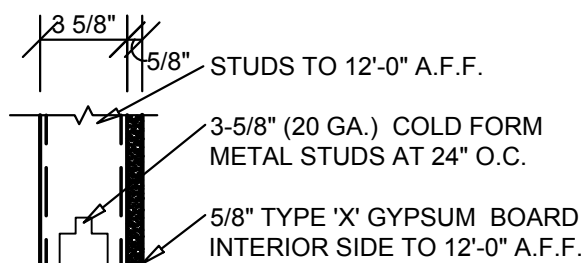


### 1 FLOOR PLAN

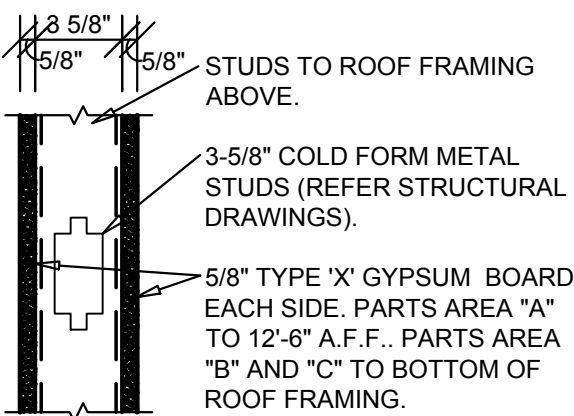
**A1.1** SCALE: 1/8" = 1'-0"

## INTERIOR WALL TYPES

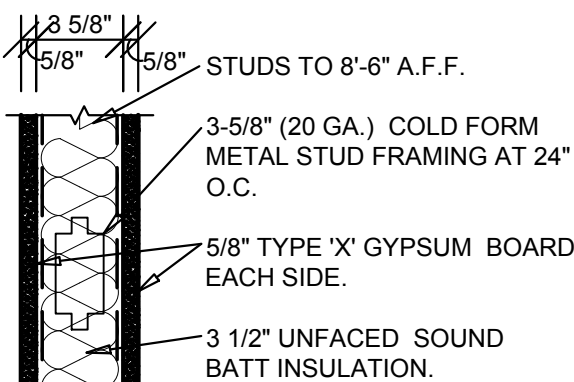
(SCALE 1 1/2" = 1'-0")



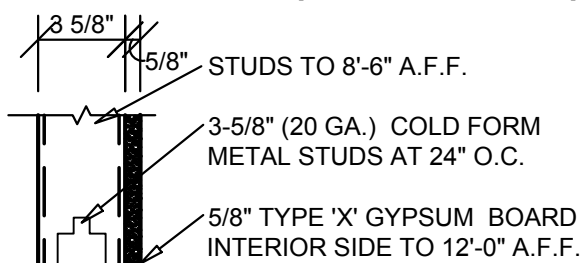
**S41**



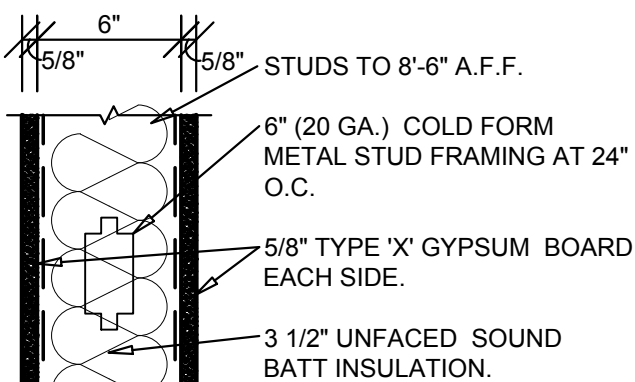
**S42**



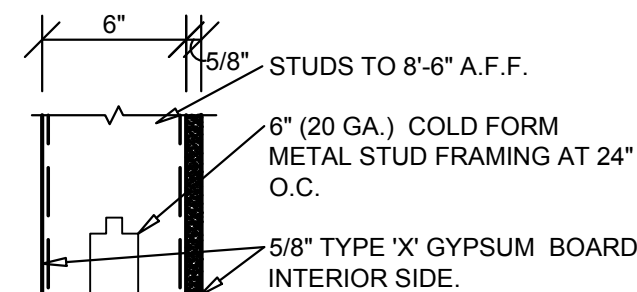
**S43**



**S44**



**S61**



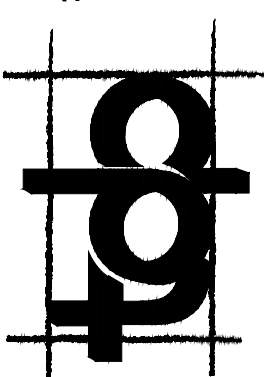
**S62**

torgerson DESIGN partners

ARCHITECT OF RECORD  
**JOHN D. TORGERSON**  
ARCHITECT LICENSE NUMBER  
13595

SHEETS BEARING THIS SEAL ARE  
AUTHENTICATED. RESPONSIBILITY FOR  
ALL OTHER PLANS, SPECIFICATIONS  
OR INSTRUMENTS ARE DISCLAIMED.

116 N. 2ND AVENUE  
OZARK, MO 65721  
P (417) 581-8889  
F (417) 581-9902



**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
6106 CORPORATE RIDGE ROAD  
RALEIGH, NC 27607

**FLOOR PLAN**

**O'Reilly AUTO PARTS**

**CORPORATE OFFICES**  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

DRAWN BY: CH CHECKED BY: KR

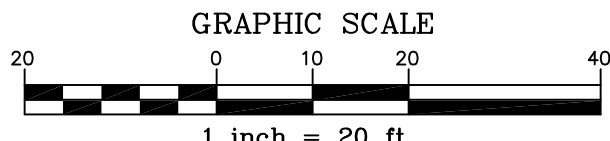
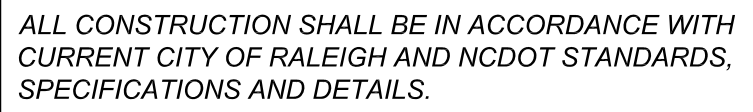
DATE: **03/31/2017**

REVISION: ADD001  
APRIL 18, 2017

PROJECT NUMBER:  
**17042-RN6**

SHEET NUMBER

**A1.1**



|             |            |
|-------------|------------|
| PROJECT NO. | PER-1601   |
| FILENAME:   | PER1601-SP |
| DRAWN BY:   | JWR        |
| SCALE:      | 1" = 20'   |
| DATE:       | 01-27-16   |
| SHEET NO.   |            |

C-2



**1 NORTH ELEVATION - FACING CHAPEL HILL ROAD**



**2 WEST ELEVATION**



**3 SOUTH ELEVATION - FACING CORPORATE RIDGE ROAD**



**4 EAST ELEVATION**

## Exterior Finish Legend

- EIFS (Exterior Insulation and Finish System) and Sheet Metal Cap Flashing "Positive Red" SW6871
- EIFS (Exterior Insulation and Finish System) and Sheet Metal Cap Flashing "Softer Tan" SW6141
- Clay Masonry Unit "Blend 30 Dove Gray Velour" (Accent)
- Clay Masonry Unit Blend 600 Oxford Brown Velour - (Field)
- Clay Masonry Unit Blend (Soldier) 600 Oxford Brown Velour - (Field)
- 4" Stone Veneer "Dakota Brown"
- Precast Concrete "Blend 30 Dove Gray Velour" (Accent)
- Steel Door and Frame "Latte" SW6108
- Steel and Overhead Door and Frame "Latte" SW6108
- Aluminum and Glass Storefront System "Hunt Club" SW6468 (6" Address Number - White)
- Bollards "Hunt Club" SW6468
- Sheet Metal Csp Flashing and Trim at Masonry Equal to Butler "Cool Birch White"